

Lakeside Farms Elementary – ESS Relocatable

Bid #: 2024-03C

A#04-123451

Lakeside Union Elementary School District

ADDENDUM 01

June 5, 2024

The following is issued to supplement or revise the Contract Documents. The revisions to the documents are described below. Unless specifically changed by this addendum, the remainder of the drawings, documents, specifications, and bid date/time shall remain in effect as originally issued.

DRAWINGS

- Item #1. REVISION – Title Sheet C-01
 - a. Revised survey benchmark and basis of bearings information.
 - b. Revised earthwork totals for cut/fill/net export yardage from pad grade change.
 - c. Revised construction notes, symbols, and quantity totals for legend.
- Item #2. REVISION – Grading and Utility Plan C-02
 - a. Revised pad grade information to match structural plans.
 - b. Revised sewer lateral invert elevations and point of connection note.
 - c. Revised construction notes, symbols, and legend.
 - d. Revised data tables for domestic water and sewer laterals.
- Item #3. REVISION – Erosion Control Plan C-03
 - a. Replotted sheet to show site plan revisions, no updates to erosion control plan.
- Item #4. ADDITION – Details C-04
 - a. Added details for thrust blocks for domestic water line.
- Item #5. ADDITION – Enlarged Site New Work Plan A-104
 - a. Added (2) new 6" concrete curbs surrounding existing relocatable wall vents. Keynote 16 provided in several locations on plan.
- Item #6. REVISION – Overall Site Plan E-1.1
 - a. Reduced site power conduit size due to deletion of one panelboard in the building per AMS drawings.
- Item #7. REVISION – Electrical Details E-1.2
 - a. Revised grounding detail due to deletion of one panelboard per AMS drawings.
- Item #8. REVISION – Floor Plan – Power E-3.1
 - a. Revised power distribution due to deletion of one panelboard per AMS drawings.
- Item #9. ADDITION – Floor Plan – Comm. E-4.1
 - a. Addition of data outlets to match AMS drawings.
- Item #10. ADDITION – Communication Details E-4.2
 - a. Added plywood background detail and junction box detail.

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CLARIFICATIONS

- Item #1. HVAC units provided by AMS are to be connected to the district's EMS system (Carrier I-vue). All required conduits, wiring, and programming to be provided by general contractor.
- Item #2. General contractor to include installation of relocatable building into overall project schedule. Prepare site for installation of relocatable building by September 30th, 2024.

Attachments: Revision/Clarification drawings: C-01, C-02, C-03, C-04, A-104, E-1.1, E-1.2, E-3.1 E-4.1, E-4.2



LAKESIDE UNION SCHOOL DISTRICT
ESS RELOCATABLE
LAKESIDE FARMS ELEMENTARY SCHOOL
LAKESIDE, CA

CIVIL ENGINEER'S NOTES TO CONTRACTOR

- ALL LANDSCAPE AREAS SHALL BE GRADED TO SLOPE AWAY FROM STRUCTURES AND PROPERTY LINES TOWARD LANDSCAPE DRAINAGE SWALES AND OR SITE DRAIN INLETS AT 2% MINIMUM GRADIENT (1% WHERE FLOW IS CONCENTRATED). SMOOTH FINISH GRADES TO ELIMINATE PONDING OR STANDING WATER.
- ALL LANDSCAPE DRAINS SHALL BE 4" MINIMUM CONSTRUCTED WITH RIGID BELOW GRADE PIPING WITH A 1% MINIMUM GRADIENT UNLESS OTHERWISE NOTED.
- LANDSCAPE DRAINS, CATCH BASINS, INLETS, ETC. SHOWN HEREON ARE DIAGRAMMATIC. CONTRACTOR SHALL PROVIDE COMPLETE DRAINAGE SYSTEMS AND ADJUST THE LAYOUT AS REQUIRED TO MATCH SITE CONDITIONS AND OR MINOR DISCREPANCIES WITH THESE PLANS.
- CONTRACTOR SHALL COORDINATE WITH OTHER TRADES TO MAINTAIN PROPER DRAINAGE AND EROSION CONTROL DURING CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY ENGINEER UPON THE DISCOVERY OF AREAS WHICH DO NOT DRAIN PROPERLY OR ANY OTHER DISCREPANCY OR AREA WHICH HAS NOT BEEN ADEQUATELY ADDRESSED AS A RESULT OF A FIELD CONDITION OR ANOMALY IN THE TOPOGRAPHY.
- HARDSCAPE GRADES SHALL BE 0.02' BELOW DRIP SCREED AT HIGHEST POINT NEAR STRUCTURE AND SHALL SLOPE AT A 1% MINIMUM GRADE TO DRAINS OR LANDSCAPE AREAS. HARDSCAPE SHALL SLOPE AND DRAIN AWAY FROM THE STRUCTURE UNLESS OTHERWISE NOTED.
- THE HIGHEST ADJACENT GRADE AGAINST STRUCTURE FOOTINGS SHALL BE PER THE LATEST GREEN BOOK STANDARD.
- DEEPEENED FOOTINGS OR YARD DRAINS SHOULD BE CONSIDERED IF THE SIDE YARD CROSS SLOPES EXCEED 10%. CONTRACTOR TO VERIFY WITH OWNER OR DEVELOPER.
- EARTHWORK QUANTITIES SHOWN HEREON ARE RAIN QUANTITIES CALCULATED FOR PERMIT AND OR BONDING PURPOSES ONLY. UNLESS NOTED, THEY DO NOT INCLUDE POTENTIAL SHRINKAGE OR BULKING FACTORS, REMEDIAL GRADING, FOOTING SPOILS, UTILITY TRENCH SPOILS, ETC. THE CONTRACTOR SHALL VERIFY QUANTITIES TO THEIR OWN SATISFACTION.
- THE LOCATIONS OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN OBTAINED FROM AVAILABLE RECORDS FOR THE BENEFIT OF THE CONTRACTOR. THE DEPICTION OF UTILITIES SHOWN ON THESE PLANS DOES NOT CONSTITUTE A GUARANTEE OF THEIR EXACT LOCATION, DEPTH, SIZE, OR TYPE. EXACT LOCATION, DEPTH, TYPE AND SIZE MAY BE VERIFIED BY POTHOLING PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT ALL UNDERGROUND AND/OR OVERHEAD STRUCTURES AND/OR UTILITIES WHETHER OR NOT THEY ARE SHOWN HEREON.
- CONTRACTOR SHALL NOTIFY DIGALERT @ 800-227-2600 OR UNDERGROUND SERVICE ALERT (USA) @ 800-422-4133 AT LEAST TWO DAYS BEFORE START OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR POTHOLING PRIOR TO START OF CONSTRUCTION TO VERIFY ALL ELEVATIONS OF EXISTING UNDERGROUND UTILITIES.
- MSE WALLS SHALL BE CONSTRUCTED WITH FULL SPECIAL INSPECTION BY OTHERS ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.
- MSE/KEYSTONE RETAINING WALLS SHALL BE CERTIFIED BY THE SOILS ENGINEER OF WORK AS BEING CONSTRUCTED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AGENCY APPROVAL OF THE ROUTE AND SITE LOCATION FOR EXPORT AND OR IMPORT MATERIALS.
- FOOTING SUBGRADE MATERIAL SHALL BE INSPECTED BY GEOTECHNICAL ENGINEER PRIOR TO FORMING OR STEEL PLACEMENT FOR ALL EARTH RETAINING STRUCTURES.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT TO BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR AGREES TO DEFEND, INDEMNIFY AND HOLD THE JURISDICTIONAL AGENCY AND THE DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE JURISDICTIONAL AGENCY OR DESIGN PROFESSIONAL.
- CONTRACTOR TO POTHOLE EXISTING UTILITIES AND VERIFY DEPTH AND LOCATION PRIOR TO THE START OF CONSTRUCTION.

AGENCY NOTIFICATIONS

THE CONTRACTORS SHALL NOTIFY THE UNDERGROUND SERVICE ALERT FORTY-EIGHT (48) HOURS PRIOR TO STARTING CONSTRUCTION OR EXCAVATION BY CONTACTING (800) 422-4133

SOURCE OF TOPOGRAPHY

FIELD TOPOGRAPHIC SURVEY BY PASCO LARET SUITER & ASSOCIATES, INC., DATED DECEMBER 01, 2023.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, NAD 83 (CCS83) EPOCH 2017.50, ZONE 8, AS ESTABLISHED FROM CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) P472 AND R440 DERIVED FROM GEODETIC VALUES PUBLISHED BY THE CALIFORNIA SPATIAL REFERENCE CENTER (CSRC) AND/OR NATIONAL GEODETIC SURVEY (NGS), RESPECTIVELY. BEARING: N 46°20'12" E.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED ON A FOUND 2'X 2" CHISELED SQUARE WITH A PUNCH MARK ON THE WEST SIDE OF THE SIDEWALK ON THE EAST SIDE OF MAINE ST & ~50' NLY OF WOODSIDE INTERSECTION PER RISE 10708 (PROV. ELEVATION: 41.088' INVERTS).

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND SPECIFICATIONS AND THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE (CBC). SEE PAGE CS FOR APPLICABLE CODES FOR THIS PROJECT.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND USA ALERT (1-800-422-4133) 48 HOURS PRIOR TO GRADING.
- DUST SHALL BE CONTROLLED BY WATERING OR OTHER METHODS APPROVED BY THE SCHOOL DISTRICT.
- CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE APPROVED, AND SHALL BE SHOWN ON THE PLAN.
- FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE APPROVED. SHALL BE SHOWN ON PLAN, AND SHALL NOT HAVE LESS THAN 95% RELATIVE COMPACTION OUT TO THE FINISHED SURFACE.
- FILL AREAS SHALL BE CLEARED OF ALL VEGETATION AND DEBRIS, SCARIFIED AND INSPECTED BY THE GRADING INSPECTOR AND APPROVED SOILS TESTING AGENCY PRIOR TO THE PLACING OF FILL.
- ALL FILL MATERIAL SHALL BE CLEAN EARTH. NO FILL SHALL BE PLACED UNTIL PREPARATION OF GROUND IS APPROVED BY THE SOILS ENGINEER.
- FINISH GRADE SHALL BE SLOPED AWAY FROM ALL EXTERIOR WALLS AT NOT LESS THAN 1/2" INCH PER FOOT FOR A MINIMUM OF 3 FEET, THEN 1% (MINIMUM) TO FLOW LINE OF EARTH SWALE.
- NO OBSTRUCTION OF FLOOD PLAINS OR NATURAL WATERCOURSES SHALL BE PERMITTED.
- APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING PROJECT.
- APPROVED EROSION PREVENTIVE DEVICES SHALL BE PROVIDED AND MAINTAINED DURING THE RAINY SEASON AND SHALL BE IN PLACE AT THE END OF EACH DAYS WORK.
- ALL WORK SHALL CONFORM TO THE CITY AND STATE CONSTRUCTION SAFETY ORDERS.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
- AN APPROVED SET OF GRADING PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE FROM BEGINNING TO COMPLETION OF GRADING OPERATIONS.
- ALL SLOPES SHALL BE PLANTED AND IRRIGATION FACILITIES SHALL BE PROVIDED FOR ALL SLOPES IN EXCESS OF 3 FEET VERTICAL HEIGHT WITHIN 90 DAYS AFTER COMPLETION OF ROUGH GRADING.
- ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY OR INDIRECTLY FROM HIS OPERATIONS, WHETHER OR NOT SUCH FACILITIES ARE SHOWN ON THESE PLANS.

SPECIAL NOTES

THE FOLLOWING NOTES ARE PROVIDED TO GIVE DIRECTIONS TO THE CONTRACTOR BY THE ENGINEER OF WORK.

- NEITHER THE OWNER NOR THE ENGINEER OF WORK WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; AND THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE ARCHITECT AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE ARCHITECT OR THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL SLOPES, STREETS, UTILITIES AND STORM DRAINS ARE BUILT IN ACCORDANCE WITH THESE PLANS. IF THERE IS ANY QUESTION REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL SUBMIT AN RFI TO THE ARCHITECT FOR DISTRIBUTION TO AND RESPONSE BY THE CIVIL ENGINEER PRIOR TO PERFORMING ANY WORK RELATED TO THE AREA(S) IN QUESTION. THE CONTRACTOR SHALL ALSO TAKE THE NECESSARY STEPS TO PROTECT THE PROJECT AND ADJACENT PROPERTY FROM ANY EROSION AND SILTATION THAT RESULT FROM HIS OPERATIONS BY APPROPRIATE MEANS (GRAVEL BAGS, HAY BALES, TEMPORARY DESILTING BASINS, DIKES, SHORING, ETC) UNTIL SUCH TIME THAT THE PROJECT IS COMPLETED AND ACCEPTED FOR MAINTENANCE BY WHATEVER AGENCY OR ASSOCIATION IS TO BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE.
- BEFORE EXCAVATING FOR THIS CONTRACT, THE CONTRACTOR SHALL VERIFY LOCATION OF UNDERGROUND UTILITIES AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY.
- LOCATION AND ELEVATION OF EXISTING IMPROVEMENTS TO BE MET BY WORK TO BE DONE SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK.
- THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO OTHER EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN HEREON AND ANY OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS. ALL DAMAGES THERETO CAUSED BY THE CONTRACTOR SHALL BE REPAIRED TO THE APPROPRIATE SPECIFICATIONS AND AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR SHALL NOTIFY THE SAN DIEGO GAS & ELECTRIC COMPANY PRIOR TO STARTING WORK NEAR COMPANY FACILITIES AND SHALL COORDINATE HIS WORK WITH COMPANY REPRESENTATIVES. FOR LOCATION OF ELECTRICAL CABLES, GAS PIPING AND APPURTENANCES CONTACT THE SAN DIEGO GAS & ELECTRIC COMPANY. TELEPHONE: 800-422-4133.
- CONTRACTOR SHALL NOTIFY THE TELEPHONE COMPANY PRIOR TO STARTING WORK NEAR COMPANY FACILITIES AND SHALL COORDINATE HIS WORK WITH COMPANY REPRESENTATIVES FOR LOCATION OF CABLES AND APPURTENANCES.
- WHERE TRENCHES ARE WITHIN EASEMENTS OR WITHIN 10' OF ANY BUILDING, A REPORT SHALL BE SUBMITTED TO THE ENGINEER OF WORK BY A QUALIFIED SOILS ENGINEER WHICH INDICATES THAT TRENCH BACKFILL WAS COMPACTED UNDER THE OBSERVATION OF THE SOILS ENGINEER AND IN ACCORDANCE WITH THE ON-SITE EARTHWORK SPECIFICATIONS.
- ALL GRADING SHALL BE DONE UNDER THE OBSERVATION OF A QUALIFIED SOILS ENGINEER. ALL AREAS TO BE FILLED SHALL BE PREPARED TO BE FILLED AND ALL FILL SHALL BE PLACED IN ACCORDANCE WITH THE GRADING SPECIFICATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PLACE, SPREAD, WATER AND COMPACT THE FILL IN STRICT ACCORDANCE WITH THE SPECIFICATIONS.

ABBREVIATIONS

AB	AGGREGATE BASE	IE	INVERT ELEVATION
AC	ASPHALT CONCRETE	MH	MANHOLE
ADA	AMERICAN WITH DISABILITIES ACT	MIN	MINIMUM
BFD	BACKFLOW DEVICE	PA	PLANTER AREA
BLDG	BUILDING	PBOX	PULL BOX
BS	BOTTOM OF STAIRS	PL	PROPERTY LINE
BW	BOTTOM OF WALL	POC	POINT OF CONNECTION
CB	CATCH BASIN	POT	PATH OF TRAVEL
CF	CURB FACE	PP	POWER POLE
CMP	CORRUGATED METAL PIPE	PROP	PROPOSED
CNU	CONCRETE MASONRY UNIT	PVC	POLYVINYL CHLORIDE
CO	CLEANOUT	RW	RIGHT-OF-WAY
COMM	COMMUNICATIONS	SCO	SEWER CLEANOUT
CONC	CONCRETE	SD	STORM DRAIN
DEMO	DEMOLITION	SDDC	STORM DRAIN CLEANOUT
DS	DOWNSPOUT	SDMH	STORM DRAIN MANHOLE
EG	EDGE OF GUTTER	SDSD	SAN DIEGO REGIONAL STANDARD DRAWINGS
ELEC	ELECTRICAL	SL	STREET LIGHT
EX	EXISTING	SMH	SEWER MANHOLE
FF	FINISH FLOOR	TC	TOP OF CURB
FG	FINISHED GRADE	TD	TOP OF DECK
FL	FLOW LINE	TG	TOP OF GRATE
FM	FORCE MAIN	TS	TOP OF STAIRS
FS	FINISHED SURFACE	TW	TOP OF WALL
GA	GUY ANCHOR	TYP	TYPICAL
GB	GRADE BREAK	WAR	WATER AIR RELEASE
GFF	GARAGE FINISH FLOOR	WM	WATER METER
GP	GUY POLE	WV	WATER VALVE
GV	GAS VALVE		
HP	HIGH POINT		
HT	HEIGHT		

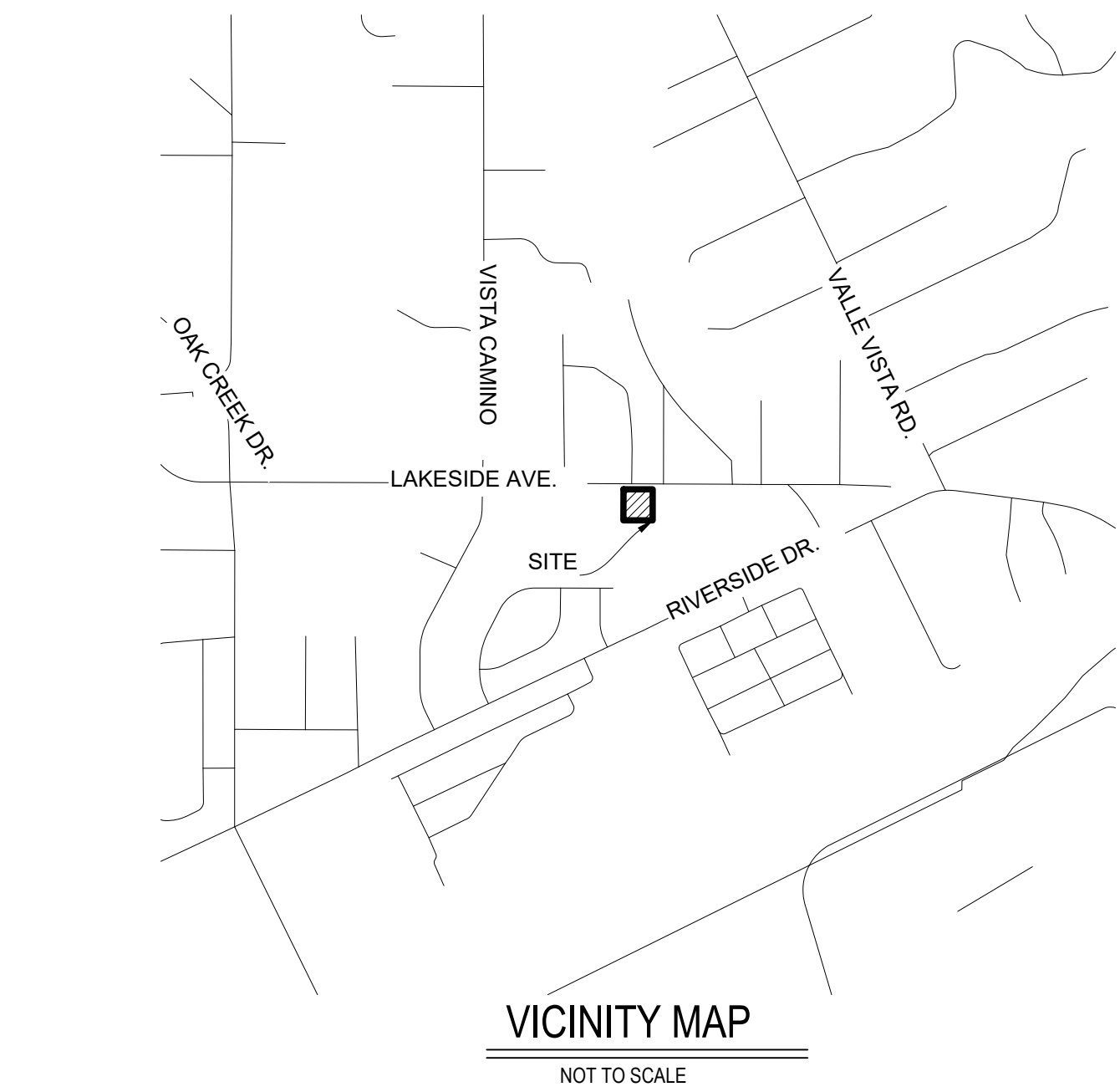
EARTHWORK

CUT: 225 CY
FILL: 50 CY
NET: 175 CY EXPORT

NOTE: EARTHWORK QUANTITIES ARE APPROXIMATE. EXPORT YARDAGE ESTIMATED FROM ASSUMED PAD GRADE OF EX. BLDG. TO BE DEMOLISHED, WITHOUT CONSIDERATION FOR ANY EXTRA OVER-EXCAVATION THAT MAY BE REQUIRED.

SHEET INDEX

SHEET NO.	DESCRIPTION
C-1.0	TITLE SHEET
C-2.0	GRADING AND UTILITY PLAN
C-3.0	EROSION CONTROL PLAN
C-4.0	DETAILS



VICINITY MAP
NOT TO SCALE

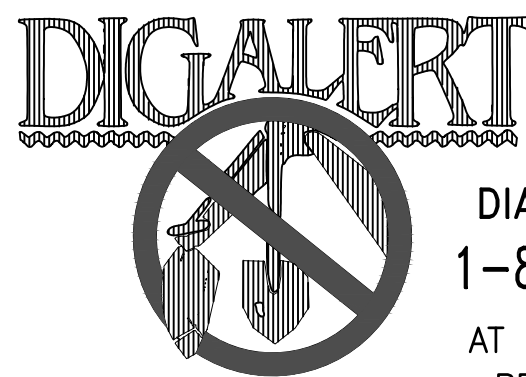
CONSTRUCTION NOTES

LEGEND

QUANTITIES

11	PROP. AC PAVEMENT, PAVEMENT SECTION PER ARCHITECTURAL PLANS		2,400 SF
12	APPROX. LIMITS OF PROP. GRIND AND OVERLAY. CONTRACTOR TO ADJUST LIMITS TO CONSTRUCT IMPROVEMENTS SHOWN ON THE PLANS AND PROVIDE SMOOTH TRANSITION TO EX. PAVEMENT		1,400 SF
13	PROP. LIMITS OF SAWCUT PER DETAIL ON SHEET C-4.0. CONTRACTOR TO ADJUST AS NECESSARY TO PROVIDE SMOOTH TRANSITION TO EX. PAVEMENT		
14	PROP. 6" CONCRETE CURB PER SDRSD G-01 ON SHEET C-4.0		30 LF
15	PROP. 0" CONCRETE CURB PER ARCHITECTURAL PLANS		150 LF
16	PROP. LANDSCAPE AREA PER ARCHITECTURAL PLANS		1,000 SF
17	PROP. PLAY AREA PER ARCHITECTURAL PLANS		1,250 SF
18	PROP. CONCRETE RAMP - SECTION, COLOR, PATTERN, AND MATERIAL PER ARCHITECTURAL PLANS		50 SF
19	PROP. TRUNCATED DOMES PER SDRSD G-30 ON SHEET C-4.0		75 SF
20	PROP. GRADE BREAK		
21	PROP. 1-STORY 40'X48' RELOCATABLE CLASSROOM BLDG. FOUNDATION AND VENT LOCATIONS PER ARCHITECTURAL AND STRUCTURAL PLANS. DRYWELL DESIGN AND LOCATIONS PER ARCHITECTURAL PLANS. CONFIRM PAD ELEVATION PER STRUCTURAL PLANS		
22	PROP. PAVEMENT STRIPING PER ARCHITECTURAL PLANS		
23	PROP. ADA PARKING STRIPING, WHEELSTOPS AND SIGNAGE PER ARCHITECTURAL PLANS		
24	PROP. MISC. SITE IMPROVEMENTS PER ARCHITECTURAL PLANS		
25	PROP. FENCING, DOORS, AND GATES PER ARCHITECTURAL PLANS		
26	PROP. DRYWELL PER ARCHITECTURAL PLANS. FG MIN SLOPE 1.0%		
27	PROP. DOMESTIC WATER POINT OF CONNECTION TO PROP. BUILDING. SEE PLUMBING PLANS FOR CONTINUATION. TP ELEVATION TO BE 6" BELOW FOUNDATION PER PLUMBING. CONFIRM FOUNDATION ELEVATION PER STRUCTURAL PRIOR TO CONSTRUCTION		2 EA
28	PROP. DOMESTIC WATER POINT OF CONNECTION TO EX. PIPE. CONTRACTOR TO POTHOLE VERIFY EXISTING LOCATION & ELEVATION PRIOR TO CONSTRUCTION		2 EA
29	PROP. SANITARY SEWER LATERAL - SEE DATA TABLE HEREON. PIPE BEDDING AND TRENCH BACKFILL PER SDRSD SP-02 ON SHEET C-4.0		115 LF
30	PROP. DOMESTIC WATER SERVICE - SEE DATA TABLE HEREON. PIPE BEDDING AND TRENCH BACKFILL PER SDRSD SP-02 ON SHEET C-4.0		140 LF
31	PROP. DOMESTIC WATER BEND. 1.5" SCH. 40 PVC WITH THRUST BLOCK PER SDRSD W1-01 ON SHEET C-4.0. ANGLE PER PLAN		4 EA
32	PROP. SEWER LATERAL BEND. 4" SDR-35 PVC, ANGLE PER PLAN		4 EA
33	PROP. SEWER LATERAL POINT OF CONNECTION TO PROP. BLDG. INSTALL SEWER CLEANOUT TYPE B PER SDRSD SC-01 ON SHEET C-4.0. SEE PLUMBING PLANS FOR CONTINUATION. PIPE INVERT ELEVATION TO BE 10" BELOW FOUNDATION PER PLUMBING. CONFIRM FOUNDATION ELEVATION PER STRUCTURAL PRIOR TO CONSTRUCTION		1 EA
34	PROP. MID-LINE SEWER CLEANOUT PER SDRSD SC-01 ON SHEET C-4.0		1 EA
35	PROP. SEWER LATERAL POINT OF CONNECTION TO EX. PIPE. PROP. INVERT @ EX. PIPE ASSUMED PER 2.08% SLOPE FROM PROP. BLDG. CONTRACTOR TO POTHOLE VERIFY EXISTING LOCATION & ELEVATION PRIOR TO CONSTRUCTION		1 EA

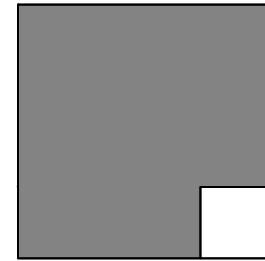
CONTRACTOR TO POTHOLE EXISTING UTILITIES AND VERIFY DEPTH AND LOCATION PRIOR TO START OF CONSTRUCTION!



DIAL TOLL FREE
1-800-227-2600
AT LEAST TWO DAYS
BEFORE YOU DIG

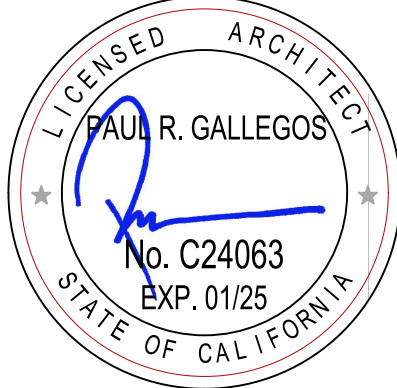
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

ALPHASTUDIO DESIGN GROUP

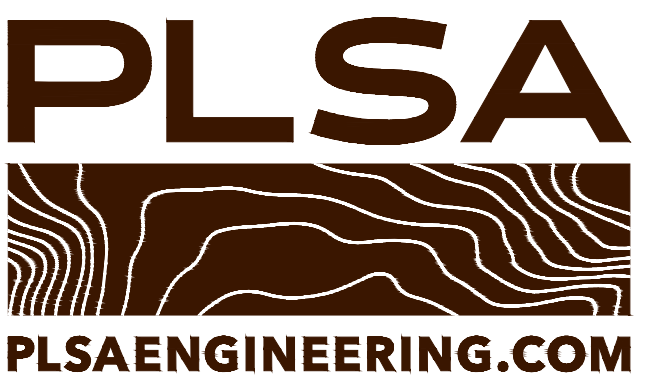


6152 INNOVATION WAY
CARLSBAD, 92009
760-431-2444
www.alphastudio-design.com

ARCHITECT OF RECORD



ENGINEER OF RECORD



ESS RELOCATABLE
LAKESIDE FARMS ELEMENTARY SCHOOL
11915 LAKESIDE AVENUE
LAKESIDE, CA 92040
LAKESIDE UNION ELEMENTARY SCHOOL DISTRICT
12335 WOODSIDE AVENUE LAKESIDE CA 92040

REVISIONS		
MARK	DATE	DESCRIPTION
	1/8/24	50% CD SUBMITTAL
	4/5/24	100% CD SUBMITTAL
	6/4/24	ADDENDUM 01

PROJECT NO: 23-033
MODEL FILE:
23-033 LUSD Lakeside Farms ES ESS Ralo

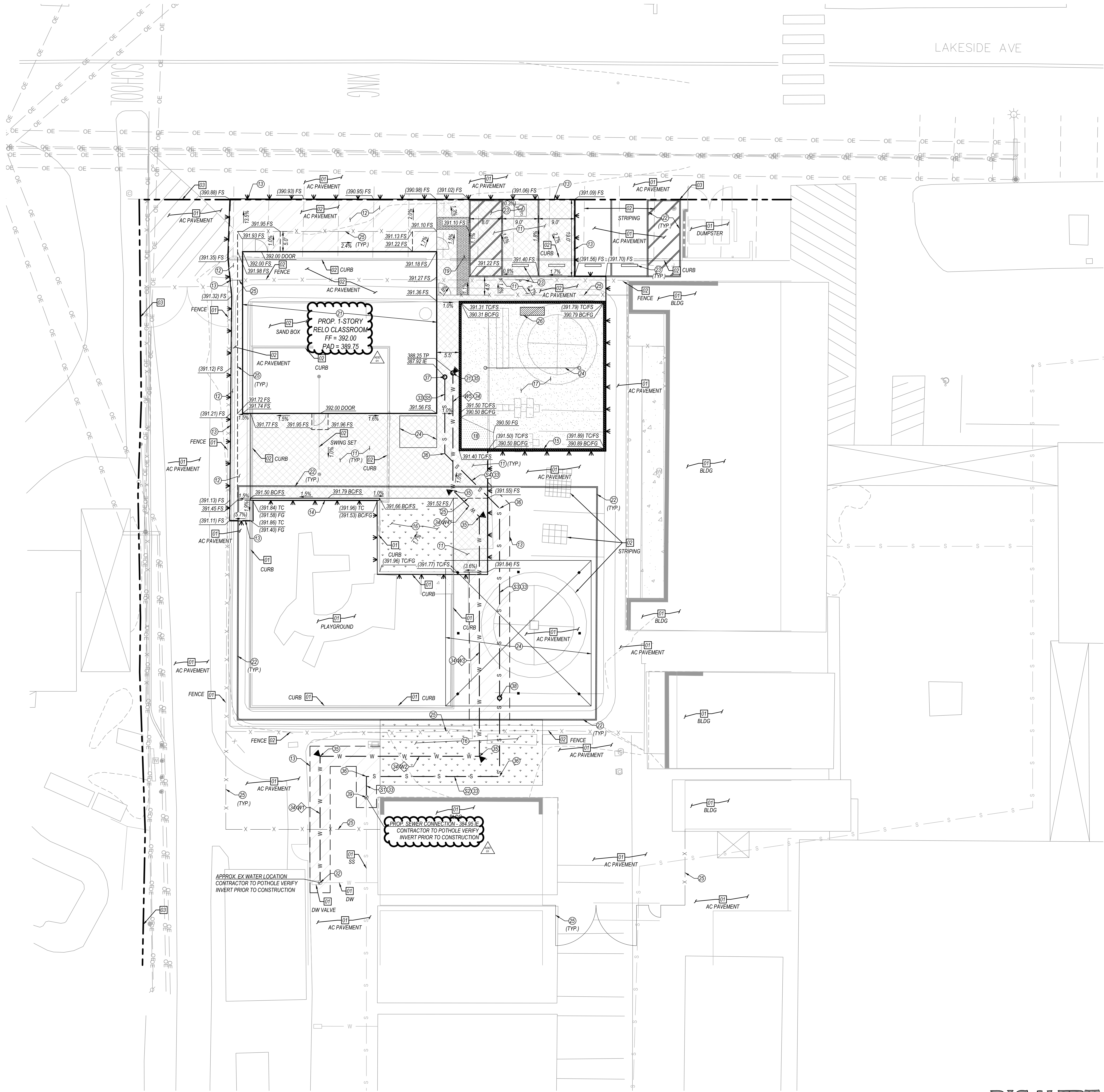
PLOT DATE:
5/1/2024

SHEET TITLE

TITLE SHEET

C-1.0

SAVE DATE: 5/1/2024 ~ PLOT DATE: 5/1/2024 ~ FILE NAME: J:\ACTIVE JOBS\03185 LAKESIDE FARMS ES\CD-02-02.dwg



CONTRACTOR TO POTHOLE EXISTING UTILITIES AND VERIFY DEPTH AND LOCATION PRIOR TO START OF CONSTRUCTION!

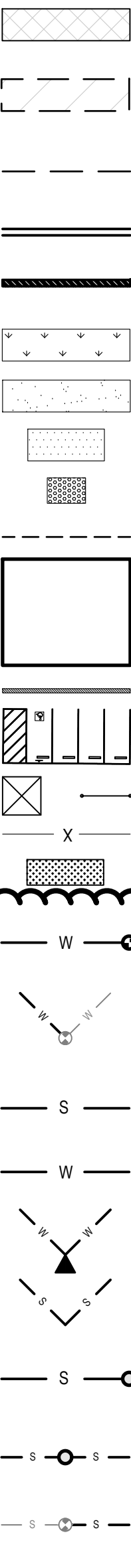
DEMOLITION CONSTRUCTION NOTES:

- 01 PROTECT IN PLACE PER ARCHITECTURAL PLANS
- 02 REMOVE ITEM PER ARCHITECTURAL PLANS
- 03 EXISTING PROPERTY LINE PER ARCHITECTURAL PLANS

CONSTRUCTION NOTES:

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- 02 APPROX. LIMITS OF PROP. GRIND AND OVERLAY CONTRACTOR TO ADJUST LIMITS TO CONSTRUCT IMPROVEMENTS SHOWN ON THE PLANS AND PROVIDE SMOOTH TRANSITION TO EX. PAVEMENT
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- 18 PROP. DOMESTIC WATER POINT OF CONNECTION TO EX. PIPE. CONTRACTOR TO POT HOLE VERIFY EXISTING LOCATION & ELEVATION PRIOR TO CONSTRUCTION
- 19 PROP. SANITARY SEWER LATERAL - SEE DATA TABLE HEREON. PIPE BEDDING AND TRENCH BACKFILL PER SDRSD SP-02 ON SHEET C-4.0
- 20 PROP. DOMESTIC WATER SERVICE - SEE DATA TABLE HEREON. PIPE BEDDING AND TRENCH BACKFILL PER SDRSD SP-02 ON SHEET C-4.0
- 21 PROP. DOMESTIC WATER BEND, 1.5" SCH. 40 PVC WITH THRUST BLOCK PER SDRSD WT-01 ON SHEET C-4.0, ANGLE PER PLAN
- 22 PROP. SEWER LATERAL BEND, 4" SDR-35 PVC, ANGLE PER PLAN
- 23 PROP. SEWER LATERAL POINT OF CONNECTION TO PROP. BLDG. INSTALL SEWER CLEANOUT TYPE B PER SDRSD SC-01 ON SHEET C-4.0
- 24 SEE PLUMBING PLANS FOR CONTINUATION. PIPE INVERT ELEVATION TO BE 10" BELOW FOUNDATION PER PLUMBING. CONFIRM FOUNDATION ELEVATION PER STRUCTURAL PRIOR TO CONSTRUCTION
- 25 PROP. MID-LINE SEWER CLEANOUT PER SDRSD SC-01 ON SHEET C-4.0
- 26 PROP. SEWER LATERAL POINT OF CONNECTION TO EX. PIPE. PROP. INVERT @ EX. PIPE ASSUMED PER 2.08% SLOPE FROM PROP. BLDG. CONTRACTOR TO POT HOLE VERIFY EXISTING LOCATION & ELEVATION PRIOR TO CONSTRUCTION

LEGEND:



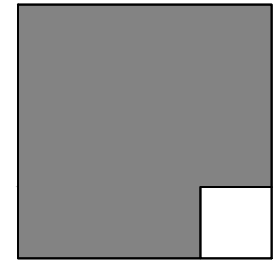
SEWER DATA TABLE		
ST	DISTANCE	BEARING
S1	5.18'	N00° 00' 00.00"E
S2	32.94'	N90° 00' 00.00"E
S3	66.30'	N00° 00' 00.00"E
S4	19.16'	N45° 00' 00.00"W
S5	29.01'	N00° 00' 00.00"E

WATER DATA TABLE		
WT	DISTANCE	BEARING
W1	31.25'	N00° 00' 00.00"E
W2	39.39'	N90° 00' 00.00"E
W3	59.23'	N00° 00' 00.00"E
W4	9.26'	N45° 00' 00.00"W
W5	18.94'	N00° 00' 00.00"E

NOTES:

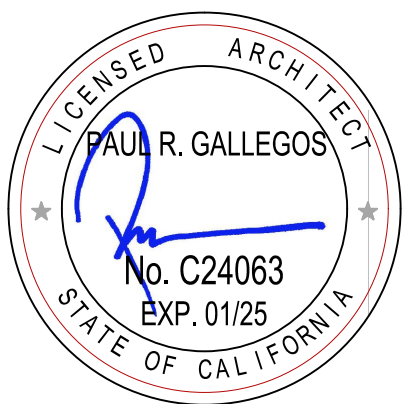
- CONTRACTOR TO POTHOLE EXISTING UTILITIES AND VERIFY DEPTH AND LOCATION PRIOR TO THE START OF CONSTRUCTION.
- THE LOCATIONS OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN OBTAINED FROM AVAILABLE RECORDS FOR THE BENEFIT OF THE CONTRACTOR. THE DEPICTION OF UTILITIES SHOWN ON THESE PLANS DOES NOT CONSTITUTE A GUARANTEE OF THEIR EXACT LOCATIONS, DEPTH, SIZE, OR TYPE. EXACT LOCATION, DEPTH, TYPE, AND SIZE MAY BE VERIFIED BY POT HOLE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT ALL UNDERGROUND AND/OR OVERHEAD STRUCTURES AND/OR UTILITIES WHETHER OR NOT THEY ARE SHOWN HEREON.

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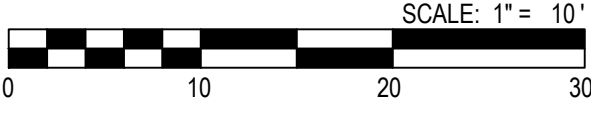
REVISIONS		
MARK	DATE	DESCRIPTION
	1/8/24	50% CD SUBMITTAL
	4/5/24	100% CD SUBMITTAL
△	6/4/24	ADDENDUM 01

PROJECT NO: 23-033
MODEL FILE:
23-033 LUSD Lakeside Farms ESS Rdo

PLOT DATE:
5/1/2024

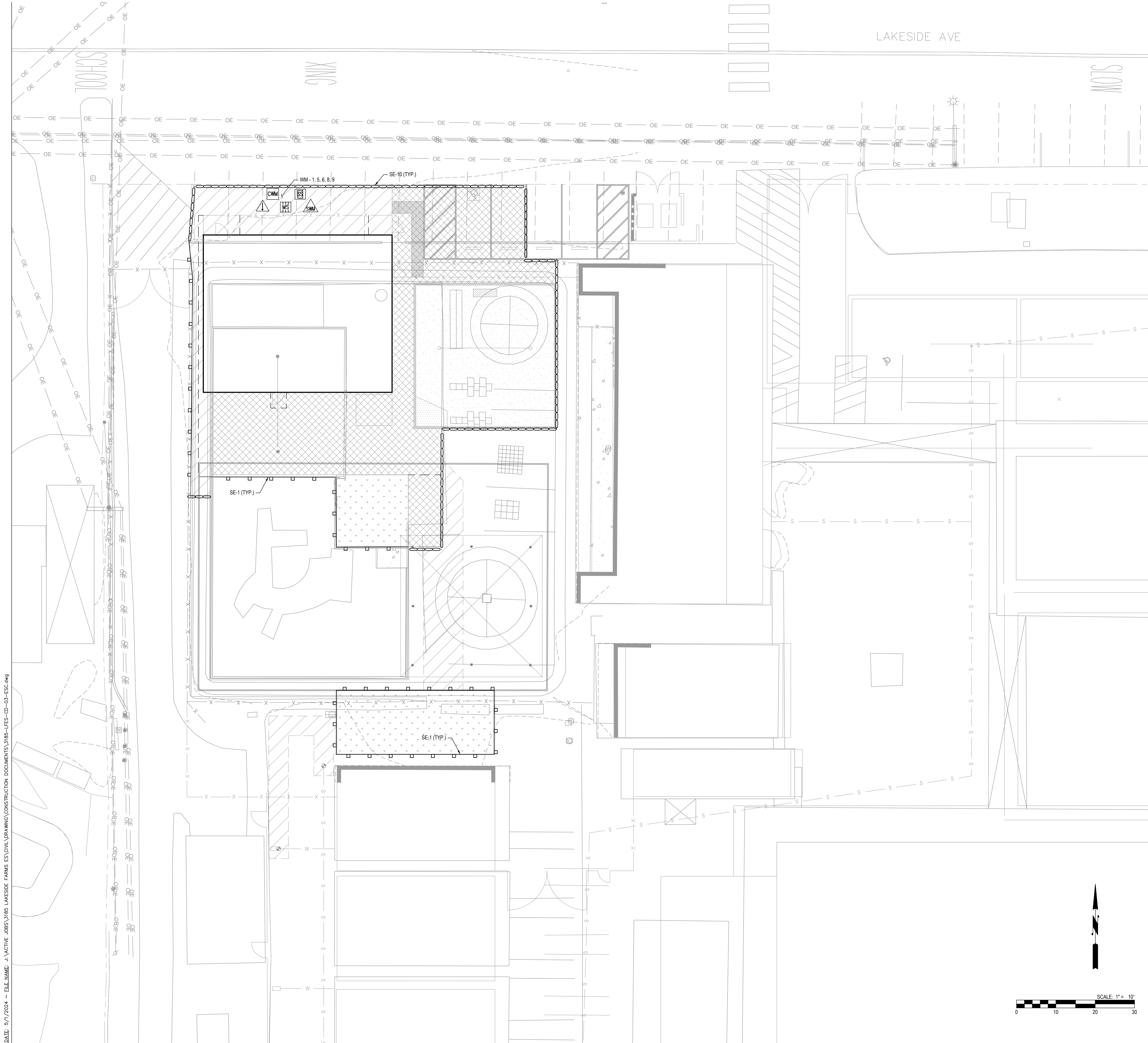
SHEET TITLE

GRADING AND UTILITY PLAN

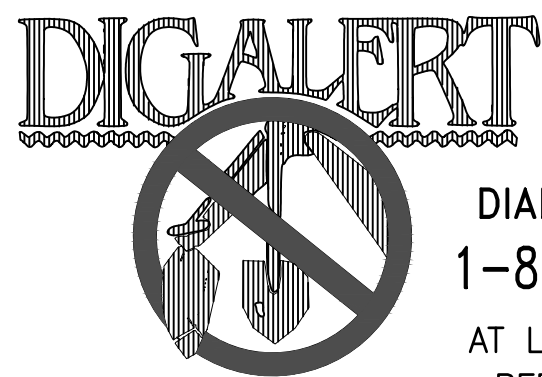


C-2.0

SAVE DATE: 5/1/2024 ~ PLOT DATE: 5/1/2024 ~ FILE NAME: J:\ACTIVE JOBS\1915 LAKESIDE FARMS ESS\1915-LFES-CD-03-ESS.dwg



CONTRACTOR TO POTHOLE EXISTING UTILITIES AND VERIFY DEPTH AND LOCATION PRIOR TO START OF CONSTRUCTION!



UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

DIAL TOLL FREE
1-800-227-2600
AT LEAST TWO DAYS
BEFORE YOU DIG

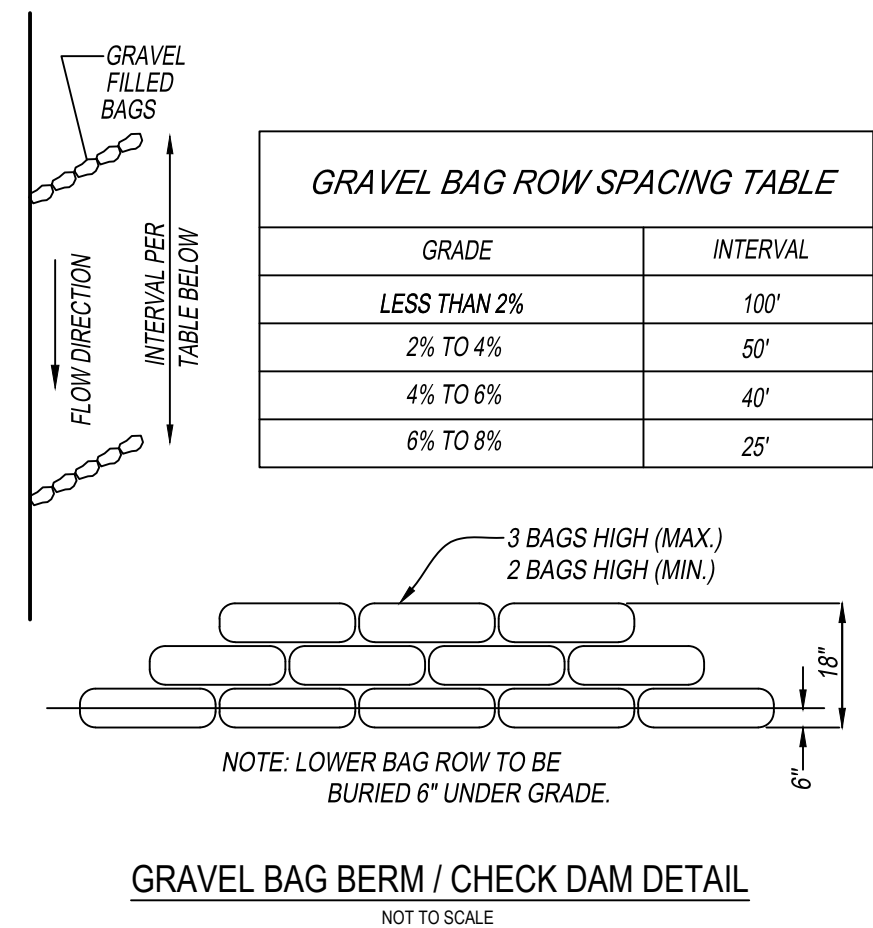
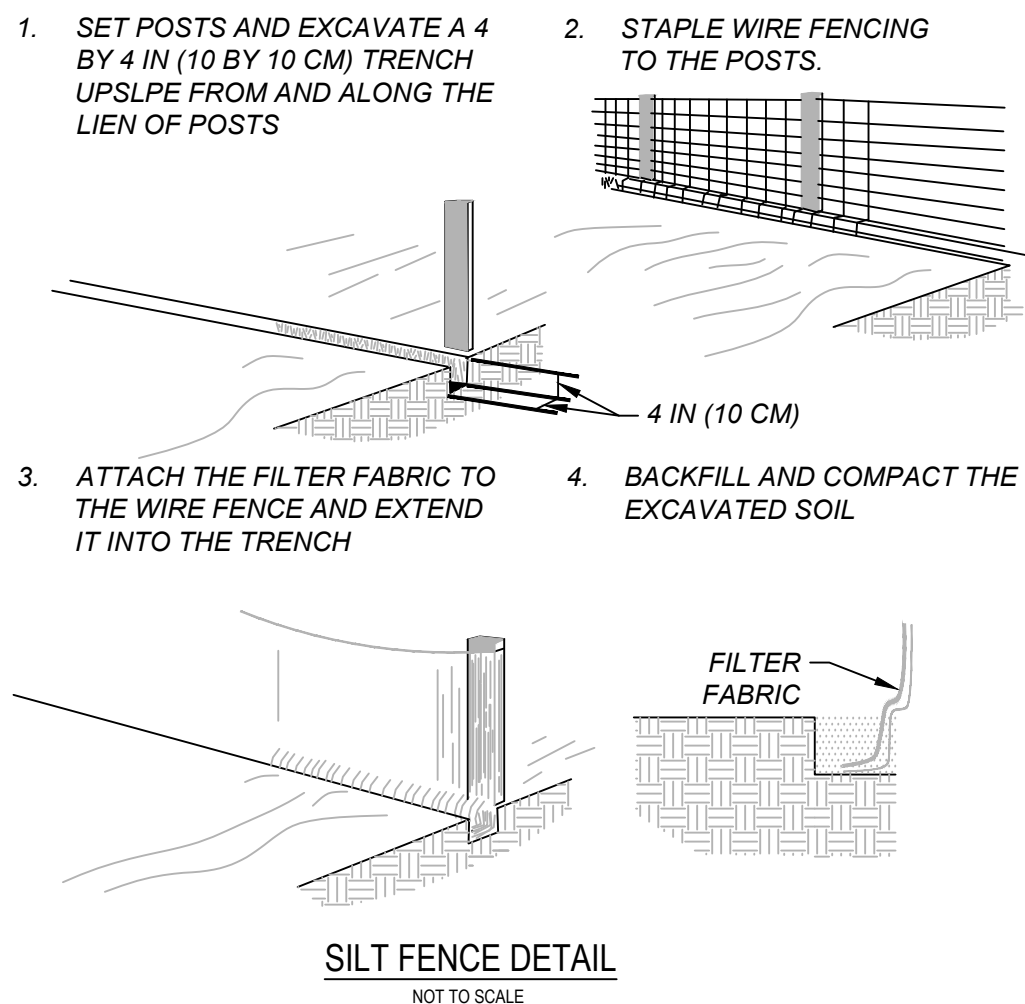
LEGEND

BEST MANAGEMENT PROTECTION

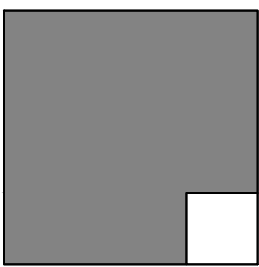
DESCRIPTION	QTY	SYMBOL
SE-1 SILT FENCE	250 LF	
SE-4 CHECK DAM	N/A	
SE-5 FIBER ROLLS	N/A	
SC-10 GRAVEL BAG BERM	250 LF	
SE-10 STORM DRAIN INLET PROTECTION	N/A	
EC-3.4 HYDROSEEDING/BONDED FIBER MATRIX	N/A	
EC-9 DRAINAGE SWALE & LINED DITCHES	N/A	
EC-10 OUTLET PROTECTION	N/A	
TC-1 STABILIZED CONSTRUCTION ENTRANCE	N/A	
TC-2 STABILIZED CONSTRUCTION ROADWAY	N/A	
WM-1 MATERIAL DELIVERY STORAGE	1 EA.	
WM-6 SOLID WASTE MANAGEMENT	1 EA.	
WM-8 HAZARDOUS WASTE MANAGEMENT	1 EA.	
WM-9 CONCRETE WASTE MANAGEMENT	1 EA.	
WM-9 SANITARY/SEPTIC WASTE MANAGEMENT	1 EA.	

EROSION AND SEDIMENT CONTROL NOTES

- FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
- FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.0' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
- THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY WATER EROSION AND SEDIMENT CONTROL DEVICES WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE INSPECTOR OR AFTER EACH RUN-OFF PRODUCING RAINFALL.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE AGENCY PERSONNEL DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE INSPECTOR.
- GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
- ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING THE AREAS FOR WHICH THE CONTRACTOR OR A QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

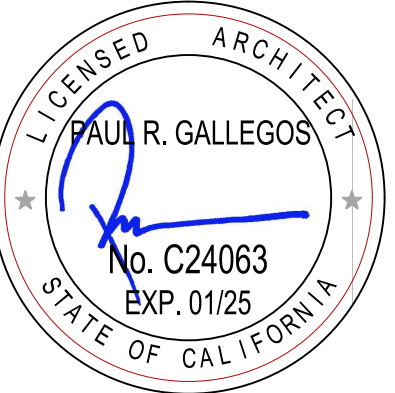


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REVISIONS		
MARK	DATE	DESCRIPTION
	1/8/24	50% CD SUBMITTAL
	4/5/24	100% CD SUBMITTAL
	6/4/24	ADDENDUM 01

PROJECT NO: 23-033

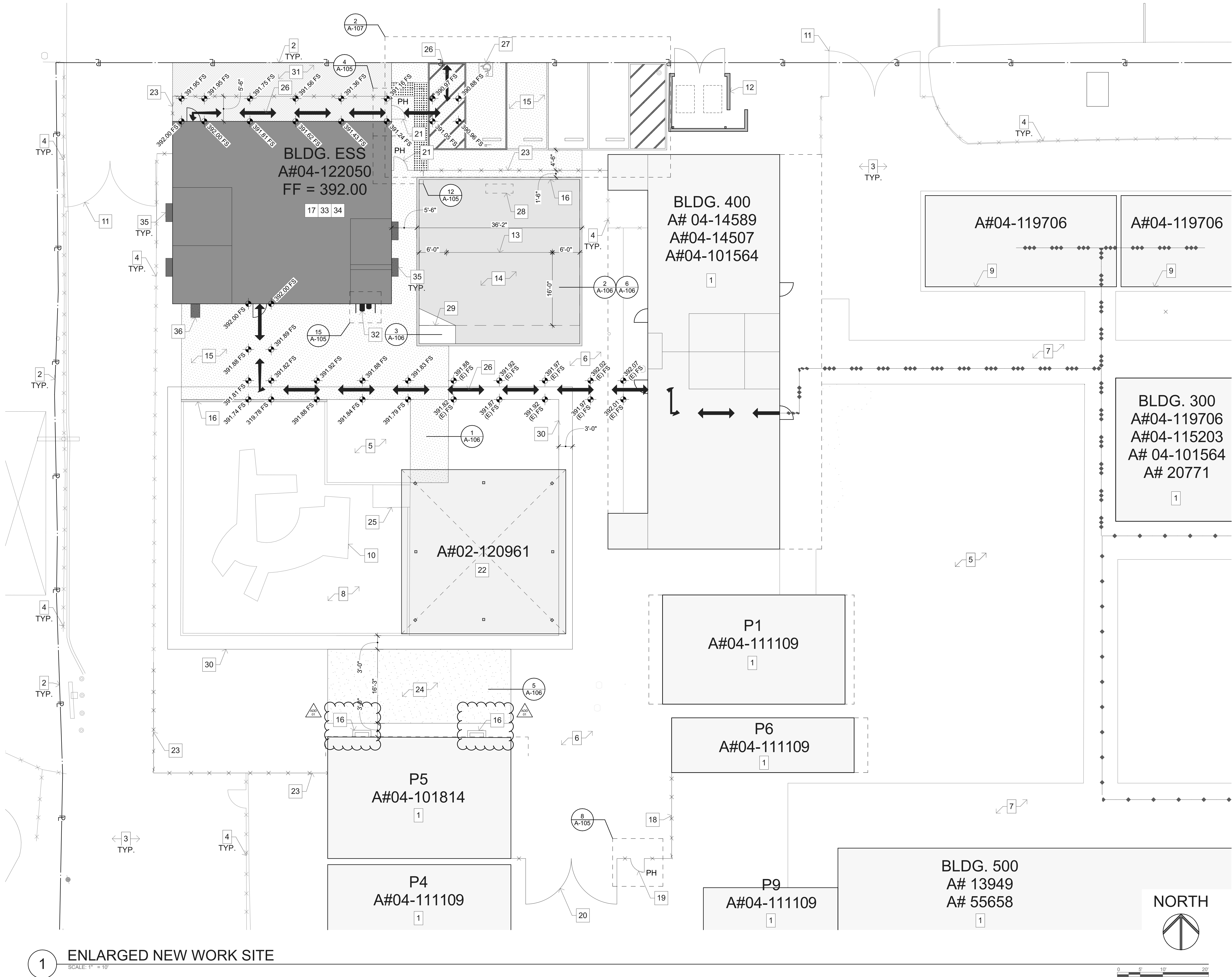
MODEL FILE:
23-033 LUSD Lakeside Farms ESS Ess Ralo

PLOT DATE:
5/1/2024

SHEET TITLE

EROSION CONTROL PLAN

C-3.0



1 ENLARGED NEW WORK SITE

CODE ANALYSIS

BUILDING 400, P1, P6

BUILDING TYPE: CLASSROOM / SHADE STRUCTURE
OCCUPANCY GROUP: E / A-3
NONSEPARATED OCCUPANCIES CBC 506.2 (A3 OCCUP. GROUP MOST RESTRICTIVE)
CONSTRUCTION TYPE: V-B
STORIES: 1
FIRE SPRINKLERS: NO
ALLOWABLE AREA: 508.3.2 BASED ON A3 OCCUP. GROUP
PER TABLE 506.2
A3 OCCUPANCY, NS = 6,000 SF

ACTUAL AREA:

(E) ADJACENT BLDG 400 AREA: 2,639 SF
E OCCUPANCY
(E) ADJACENT BLDG P1 AREA: 960 SF
E OCCUPANCY
(E) ADJACENT BLDG P6 AREA: 480 SF
E OCCUPANCY
NEW SHADE SHELTER: 1,296 SF
A3 OCCUPANCY

TOTAL: 5,375 SF
5,375 SF < 6,000 SF - OK

ESS BUILDING

BUILDING TYPE: CLASSROOM
OCCUPANCY GROUP: E
CONSTRUCTION TYPE: V-B
STORIES: 1
(E) ADJACENT BLDG. AREA: N/A
FIRE SPRINKLERS: NONE
NEW BUILDING AREA: 40'X48' = 1,920 SF
TOTAL BUILDING AREA: 1,920 SF
ALLOWABLE AREA: 9,500 S.F.
1,920 SF < 9,500 SF OK

OCCUPANT LOAD

OCCUPANCY: E
SQUARE FOOTAGE: 1920 SF.
OCCUPANT LOAD FACTOR: 20 NET
1920 SF/20 = 96 OCCUPANTS

SHADE STRUCTURE

OCCUPANCY GROUP: A-3
CONSTRUCTION TYPE: V-B
STORIES: 1
(E) ADJACENT BLDG. AREA: 4,079 SF
FIRE SPRINKLERS: NONE
NEW BUILDING AREA: 36'X36' = 1,296 SF
TOTAL BUILDING AREA: 5,375 SF
ALLOWABLE AREA: 9,500 S.F.
5,375 SF < 9,500 SF OK

OCCUPANT LOAD

OCCUPANCY: A-3
SQUARE FOOTAGE: 1296 SF.
OCCUPANT LOAD FACTOR: 15 NET
1296 SF/15 = 86 OCCUPANTS

EXIT ANALYSIS

EDUCATIONAL 1,920 / 20 = 96
ASSEMBLY 1,296 / 15 = 86
OCCUPANTS = 182

REQUIRED EXIT DOOR WIDTH: 182 (0.2) = 36.4 IN.
TOTAL 3'-0" WIDE DOUBLE LEAF EXIT GATE WIDTH: 2 GATES x 36" = 72"
72 IN. > 36.4 IN. - OK

NEW WORK LEGEND

TYPES	SYMBOLS	DESCRIPTIONS
1.		NEW 4" AC PAVING WITH AGGREGATE BASE
2.		NEW WOOD FIBER PLAY SURFACE
3.		NEW ARTIFICIAL TURF
4.		GRIND AND OVERLAY

NOTES

- EXISTING BUILDING TO REMAIN - N.I.C.
- EXISTING PROPERTY LINE.
- LOCATION OF EXISTING FIRE ACCESS LANE, 20'-0" MIN. WIDE EXISTING CURB/PAVEMENT PAINTED RED WITH WHITE LETTERING WHICH READS: "NO PARKING - FIRE LANE" PER DSA APPROVED A#04-119506.
- EXISTING 6'-0" HIGH CHAIN LINK FENCING TO REMAIN.
- EXISTING LANDSCAPE AREA TO REMAIN.
- EXISTING ASPHALT PAVING TO REMAIN.
- EXISTING CONCRETE PAVING TO REMAIN.
- EXISTING ENGINEERED WOOD FIBER PLAY SURFACE TO REMAIN.
- EXISTING SHADE SHELTER TO REMAIN - N.I.C.
- EXISTING PLAY STRUCTURE TO REMAIN.
- EXISTING 6'-0" HIGH AND 10'-0" DOUBLE LEAF VEHICULAR GATE TO REMAIN PER DSA APPROVED A#04-119506.
- EXISTING TRASH ENCLOSURE TO REMAIN.
- NEW LOCATION OF EXISTING SWING SET, REFER TO PLAY EQUIPMENT NOTES ON SHEET T-002 FOR ACCESSIBLE SWING REQUIREMENTS.
- NEW ENGINEERED WOOD FIBER PLAY SURFACE. REFER TO DETAILS 2 & 3/A-106 AND PLAY SURFACE NOTES ON SHEET T-002.
- NEW 4" AC PAVING WITH AGGREGATE BASE PER DETAIL 1/A-106 AND CIVIL DRAWINGS.
- NEW 6" CONCRETE CURB PER DETAIL 6/A-106.
- INSTALLATION OF NEW 48'X40' RELOCATABLE ESS CLASSROOM BUILDING BY AMERICAN MODULAR SYSTEMS, REFERENCE ATTACHED DRAWINGS PC#04-122050. RELOCATABLE BUILDING TO BE PLACED ON CONCRETE STEM WALL/FOUNDATION CONSTRUCTED PER THE ATTACHED MANUFACTURER'S DRAWINGS AND DETAILS.
- NEW 4'-0" HIGH CHAIN LINK FENCING PER DETAIL 1/A-105.
- NEW 4'-0" HIGH AND 3'-0" WIDE SINGLE LEAF CHAIN LINK PEDESTRIAN GATE PER DETAIL 3/A-105. ENLARGED GATE PLAN ON SHEET A-105.
- NEW 4'-0" HIGH AND 10'-0" WIDE DOUBLE LEAF CHAIN LINK VEHICULAR GATE PER DETAIL 6/A-105.
- NEW 6'-0" HIGH BY 3'-0" WIDE SINGLE LEAF PEDESTRIAN GATE PER 3/A-105. REFER TO ENLARGED GATE PLANS ON SHEET A-105.
- INSTALLATION OF NEW 36'X36' NAVAJO SHADE SHELTER BY AMERICANA SHELTERS PER PC#02-120961.
- NEW 6'-0" HIGH CHAIN LINK FENCING PER DETAIL 1/A-105.
- NEW ARTIFICIAL TURF PER DETAIL 5/A-106.
- EXISTING ACCESSIBLE CURB RAMP PER DSA APPROVED A#04-112870.
- PROPOSED PATH OF TRAVEL.
- NEW ACCESSIBLE PARKING STALL PER ENLARGED PARKING PLAN ON SHEET A-107.
- NEW 24"WX72"LX24"D DRYWELL FOR TERMINATION OF SUBSURFACE DRAINAGE SYSTEM. DRYWELL SHALL BE FILLED WITH 3/4" CRUSHED ROCK WRAPPED IN FILTER FABRIC AND LOCATED AT LOW SIDE OF SUBGRADE.
- NEW ACCESSIBLE CURB RAMP PER DETAILS 3 & 4/A-106.
- NEW 4" WIDE PAINTED WHITE STRIPING.
- HATCH INDICATES LOCATION OF GRIND AND OVERLAY AT EXISTING ASPHALT. PROVIDE 2% MAX SLOPE IN ALL DIRECTIONS WITH FLUSH TRANSITION TO ALL ADJACENT PAVING. REFER TO NEW WORK LEGEND AND CIVIL DRAWINGS.
- NEW DRINKING FOUNTAIN PER PC#04-122050. REFER TO DRINKING FOUNTAIN PLAN 15/A-105.
- NEW 2" CONC. GOPHER SLAB AT UNDERFLOOR CRAWL SPACE TO BE PROVIDED BY GENERAL CONTRACTOR.
- NEW 24"WX72"LX24"D DRYWELLS FOR TERMINATION OF SUBSURFACE DRAINAGE SYSTEM TO BE PROVIDED BY GENERAL CONTRACTOR. DRYWELL SHALL BE FILLED WITH 3/4" CRUSHED ROCK WRAPPED IN FILTER FABRIC AND LOCATED AT LOW SIDE OF SUBGRADE. FINAL LOCATION OF DRYWELLS TO BE DETERMINED DURING CONSTRUCTION.
- NEW 4'-0"X18" UNDERFLOOR VENT GRATES TO BE PROVIDED BY GENERAL CONTRACTOR PER PC#04-122050.
- NEW FOUNDATION ACCESS WELL TO BE PROVIDED BY GENERAL CONTRACTOR PER PC#04-122050.

SITE ACCESSIBILITY NOTES

- DASHED LINE INDICATES ACCESSIBLE PATH OF TRAVEL WHICH SHALL BE A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAX SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM, AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM THE WALL AND ABOVE 27" AND LESS THAN 80" PER CBC 11B-202.4. SEE: (E) PER DSA APPROVED:

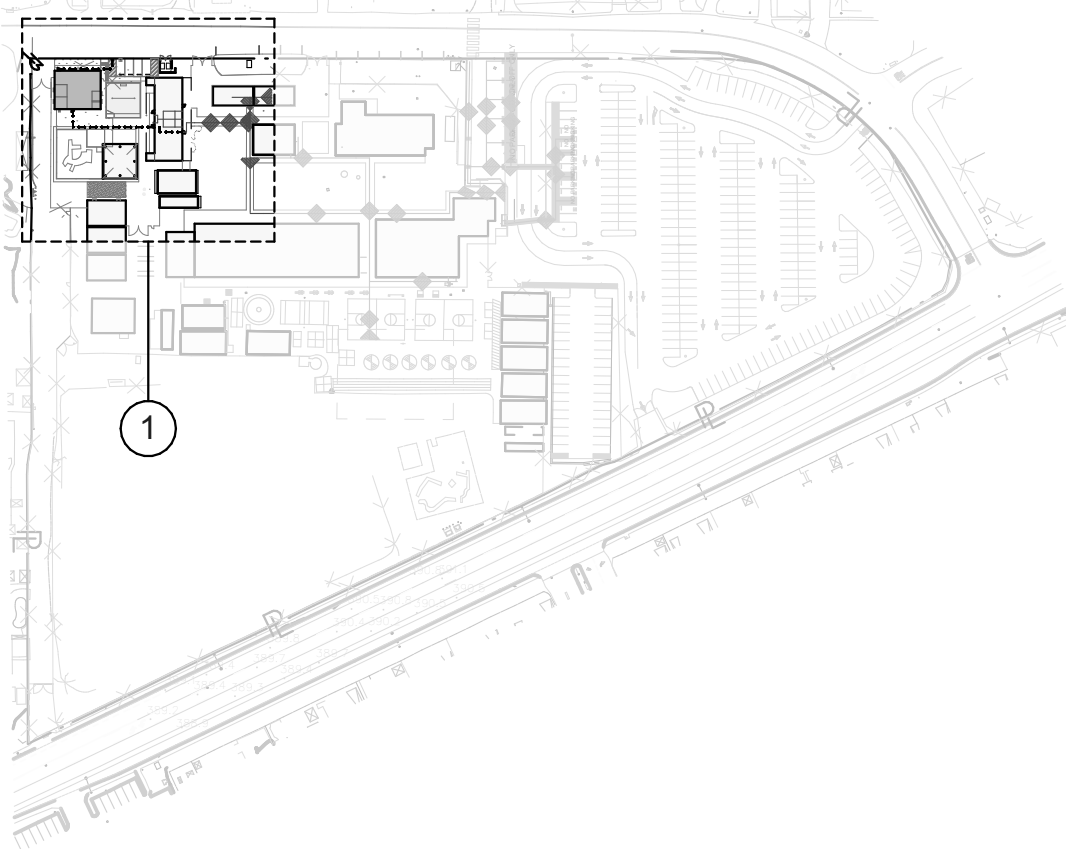
(N)
2) DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT: THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS, AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT: 1) HAVE BEEN IDENTIFIED AND, 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS.

ANY NONCOMPLIANT ELEMENT, COMPONENTS OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS.

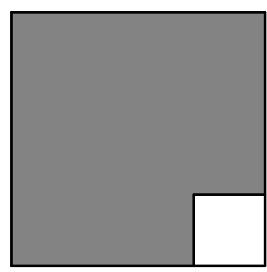
DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCOMFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT.

- FOR ALL GRATINGS LOCATED IN THE SURFACE OF ANY PEDESTRIAN WAY IN THE PATH OF TRAVEL, THE GRID/OPENINGS IN THE GRATINGS SHALL BE LIMITED TO 1/2" MAXIMUM IN THE DIRECTION OF TRAFFIC FLOW.
- GATES AT THE PATH OF TRAVEL SHALL COMPLY WITH EXIT DOOR REQUIREMENTS.
- MANUAL CANE BOLTS, MANUALLY LOCKING HARDWARE, CHAINS, ETC. ARE NOT ALLOWED ON GATES WITH PANIC HARDWARE.

KEY PLAN

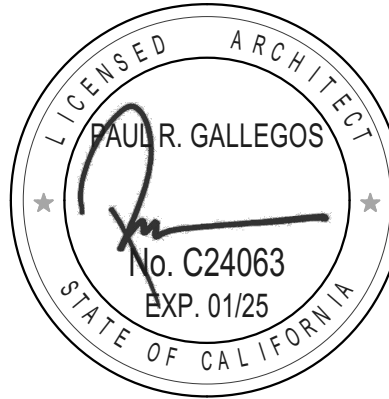


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REVISIONS

MARK	DATE	DESCRIPTION
	6/4/24	ADDENDUM 01

PROJECT NO: 23-033

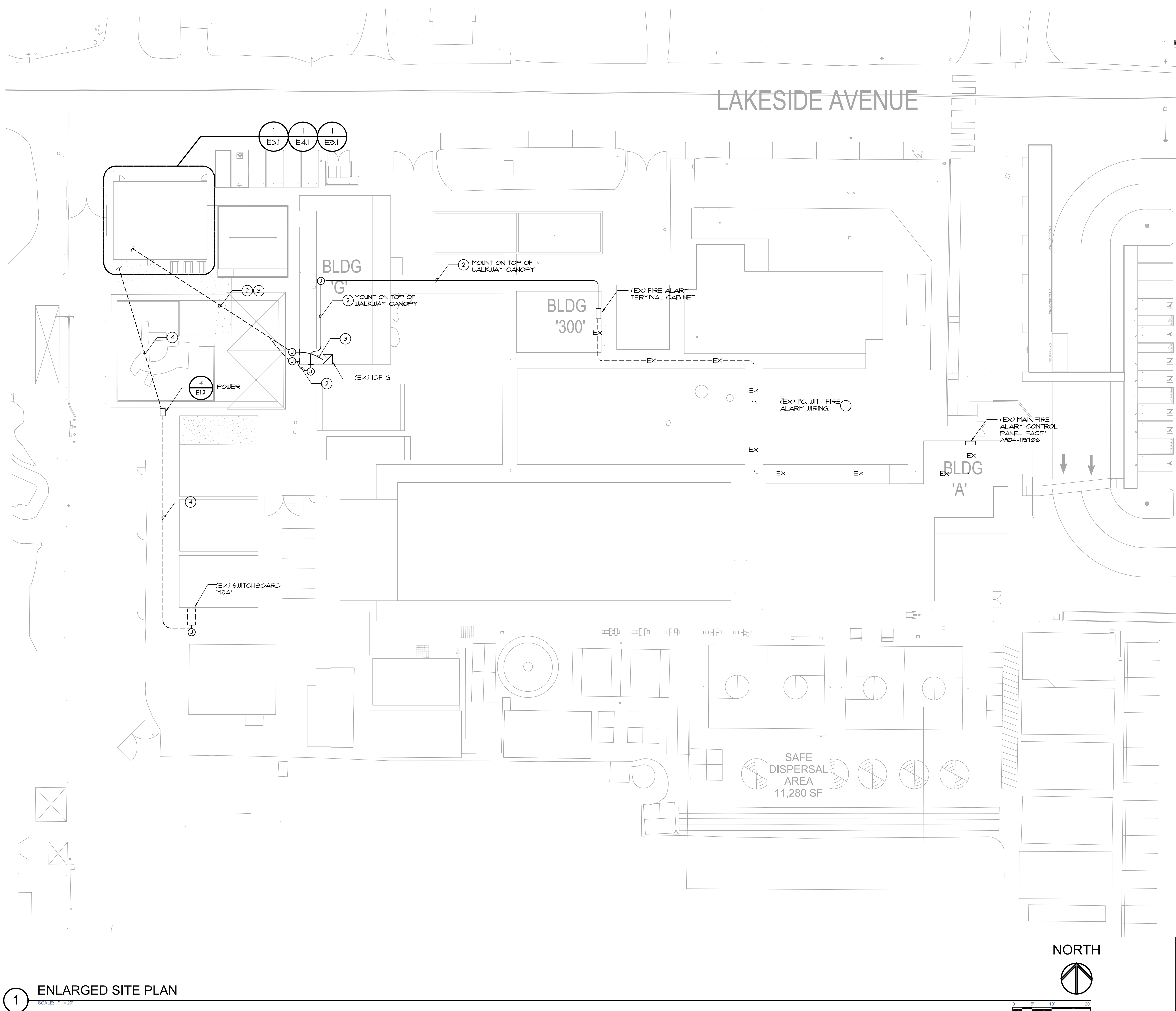
MODEL FILE:
23-033 LUSD Lakeside Farms ES ESS Relo

PLOT DATE:
6/4/2024

SHEET TITLE

ENLARGED SITE NEW
WORK PLAN

A-104



1 ENLARGED SITE PLAN
SCALE: 1" = 20'

- GENERAL NOTES:**
1. ALL JUNCTION BOXES SHOWN ON FLOOR PLAN SHALL BE NEMA 3R UNLESS OTHERWISE NOTED.
 2. REFER TO E12 FOR TYPICAL SITE DETAILS.
 3. REFER TO E31 ONE LINE DIAGRAM FOR ADDITIONAL CONDUIT AND CONDUCTOR REQUIREMENTS.
- KEY NOTES:**
- 1 DISCONNECT AND REMOVE EXISTING FIRE ALARM WIRING FROM FA-300' BACK TO 'FACP'. RE-PULL EXISTING WIRING WITH NEW SIGNAL LINE CIRCUIT.
 - 2 1" (FIRE ALARM)
 - 3 (2) 2" (DATA)
 - 4 2" (POWER)

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MARK	DATE	DESCRIPTION
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PROJECT NO: 23-033		
MODEL FILE: 23-033 LUSD Lakeside Farms ES ESS Relo		
PLOT DATE: 12/1/2023		
SHEET TITLE		

OVERALL SITE PLAN

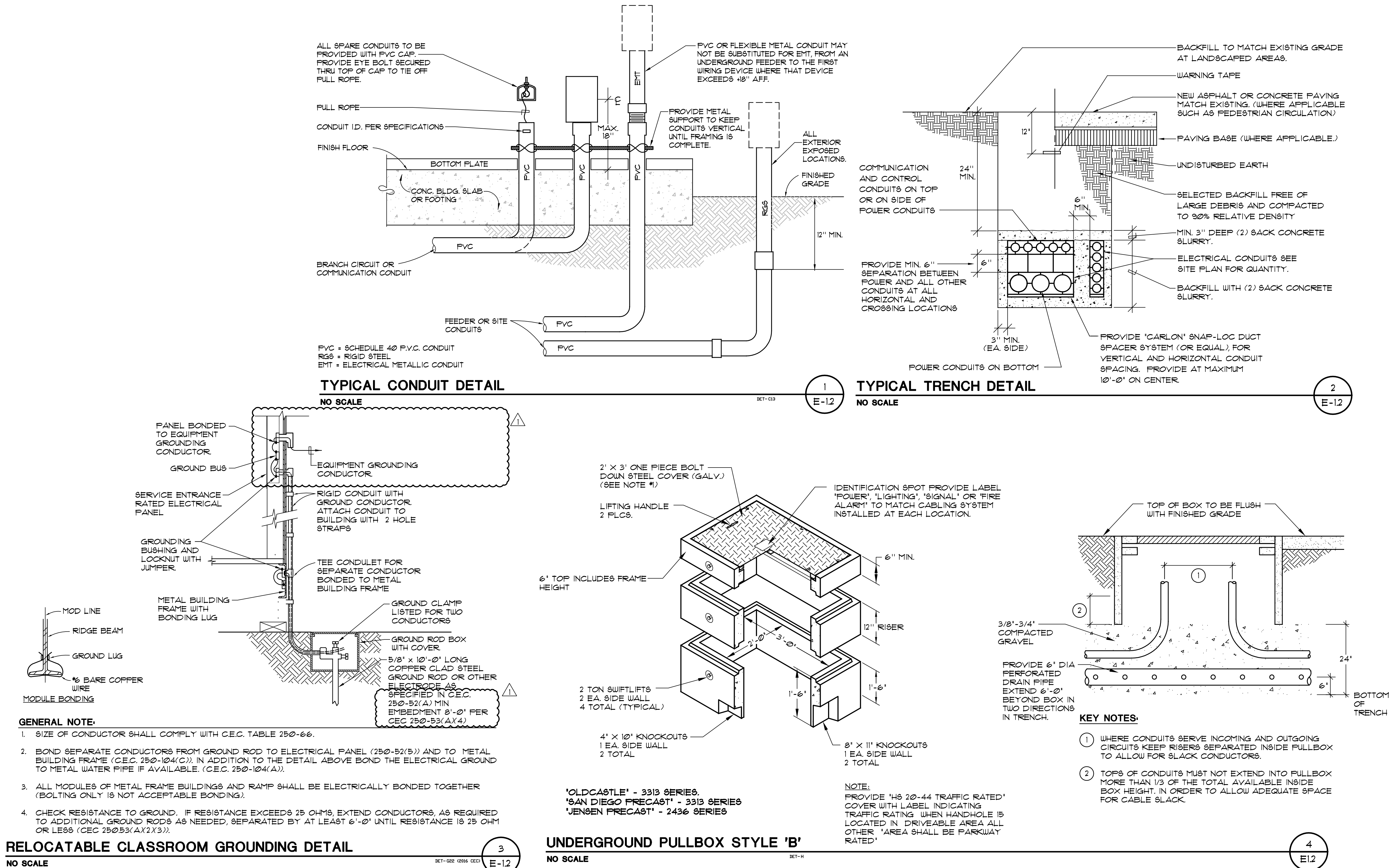
E-1.1

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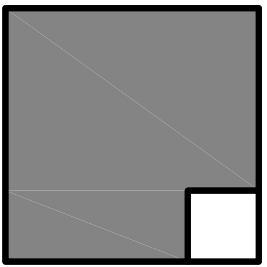
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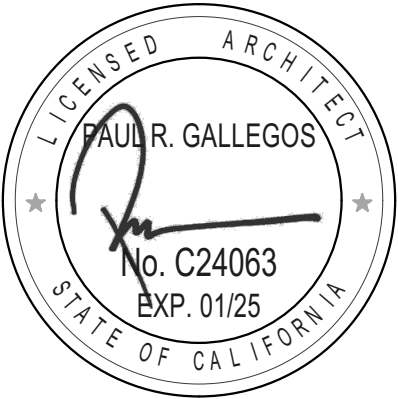


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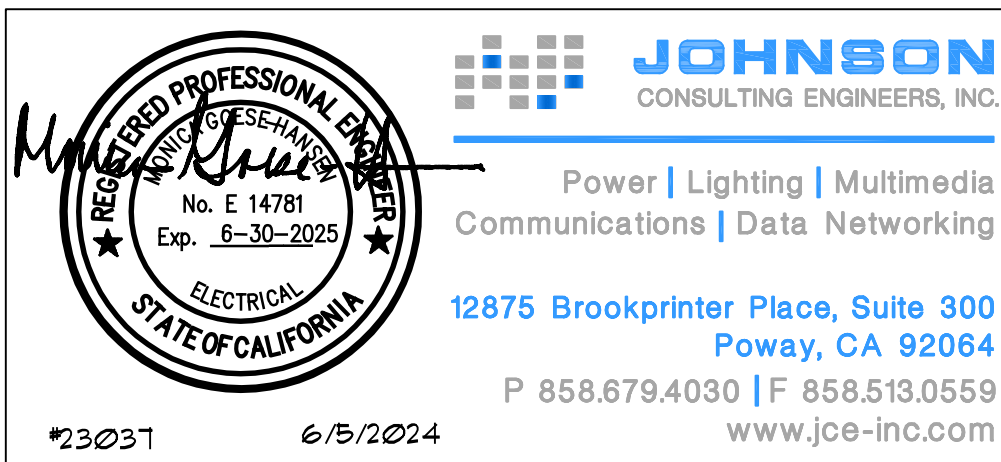
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MODEL FILE:
23-033 LUSD Lakeside Farms ES ESS Relo






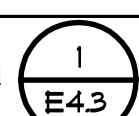



PLOT DATE:
12/1/2023

SHEET TITLE

ELECTRICAL DETAILS



E-1.2

TECHNOLOGY SYMBOL LEGEND				
SYMBOL	DESCRIPTION	BACKBOX/RING	FACEPLATE	CONDUIT/RACEWAY
	Single Port Data Outlet, 18" AFF. (UON)	By Relo Manufacturer	Single gang faceplate with two port openings one provided with one blank.	By Relo Manufacturer
	Dual Port Data Outlet, 18" AFF. (UON)	By Relo Manufacturer	Single gang faceplate with two port openings.	By Relo Manufacturer
	Quad Port Data Outlet, 18" AFF. (UON)	By Relo Manufacturer	Single gang faceplate with four port openings.	By Relo Manufacturer
	Dual Port Data Outlet 46" Above Backplash (UON)	By Relo Manufacturer	Single gang faceplate with two port openings.	By Relo Manufacturer
	Dual port data outlet at wireless access point location mounted in accessible ceiling (UON)	See detail 	Single gang faceplate with two port openings.	Not required in accessible ceiling.
	Addressable Digital Speaker Intercom Speaker recessed in ceiling.	By 21 10 00 Contractor	By 21 10 00 Contractor	Not required in accessible ceiling.
	Conduit stubbed above ceiling			
	Dual port data outlet for Audio-Visual equipment in accessible ceiling.	4 11/16" square 2 1/8" deep box with single gang ring.	Single gang faceplate with two port openings.	Type '3/4-S'

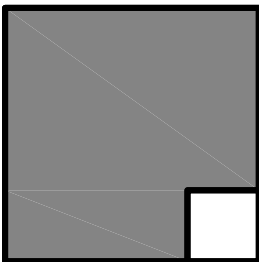
GENERAL NOTES:

- REFERENCE ARCHITECTURAL INTERIOR ELEVATIONS FOR EXACT LOCATION OF ALL WALL MOUNTED DEVICES.
- REFERENCE E4 SERIES SHEETS FOR TYPICAL CONDUIT AND BACKBOX INSTALLATION DETAILS.
- REFERENCE E4 SERIES SHEETS FOR TYPICAL DETAILS.

KEY NOTES:

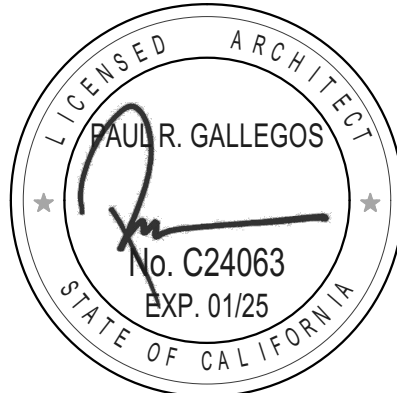
- PROVIDE CYBERDATA IP BASED CEILING PAGING SPEAKER MODEL #21394. PROVIDE REQUIRED LICENSING AND PROGRAMING AS REQUIRED FOR A COMPLETE OPERATIONAL SYSTEM.
- PROVIDE LA CROSSE TECHNOLOGY RADIO CONTROLLED BATTERY POWERED CLOCK AND BATTERIES MATCH EXISTING CLOCKS ONSITE. PROGRAM AND SYNCHRONIZE AS REQUIRED.

ALPHASTUDIO DESIGN GROUP

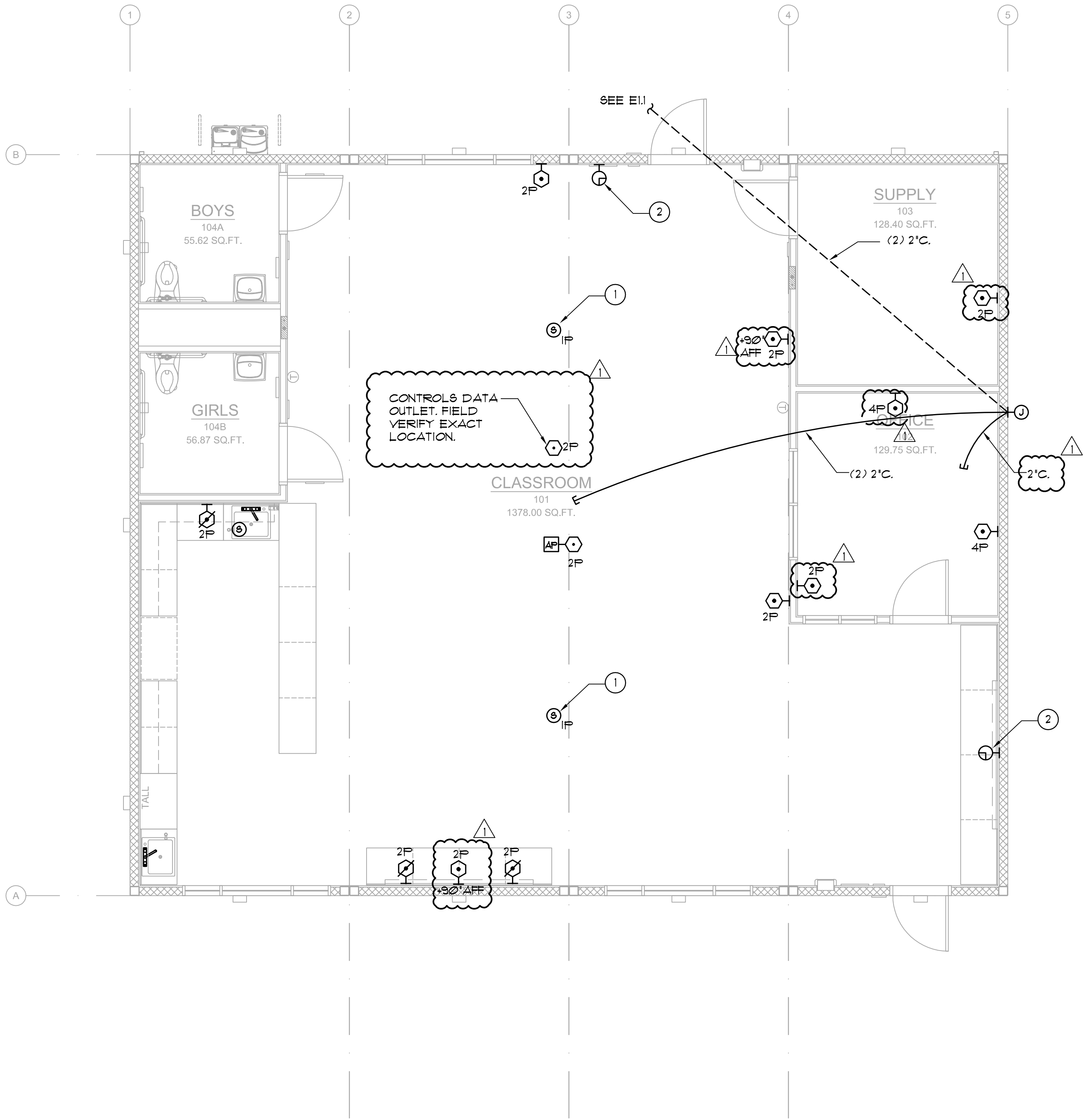


6152 INNOVATION WAY
CARLSBAD, 92009
760-431-2444
www.alphastudio-design.com

ARCHITECT OF RECORD



ENGINEER OF RECORD



NORTH



JOHNSON
CONSULTING ENGINEERS, INC.

Power | Lighting | Multimedia
Communications | Data Networking

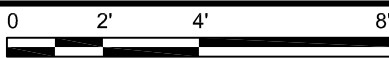
12875 Brookprinter Place, Suite 300
Poway, CA 92064
P 858.679.4030 | F 858.513.0559
www.jce-inc.com

7/3/2021

6/5/2024


1 48X40 RELO FLOOR PLAN

SCALE: 1/4" = 1'-0"



ESS RELOCATABLE
LAKESIDE FARMS ELEMENTARY SCHOOL
11915 LAKESIDE AVENUE
LAKESIDE, CA 92040
LAKESIDE UNION ELEMENTARY SCHOOL DISTRICT
12335 WOODSIDE AVENUE LAKESIDE CA 92040

REVISIONS

MARK	DATE	DESCRIPTION
	6/4/24	ADDENDUM 01

PROJECT NO: 23-033

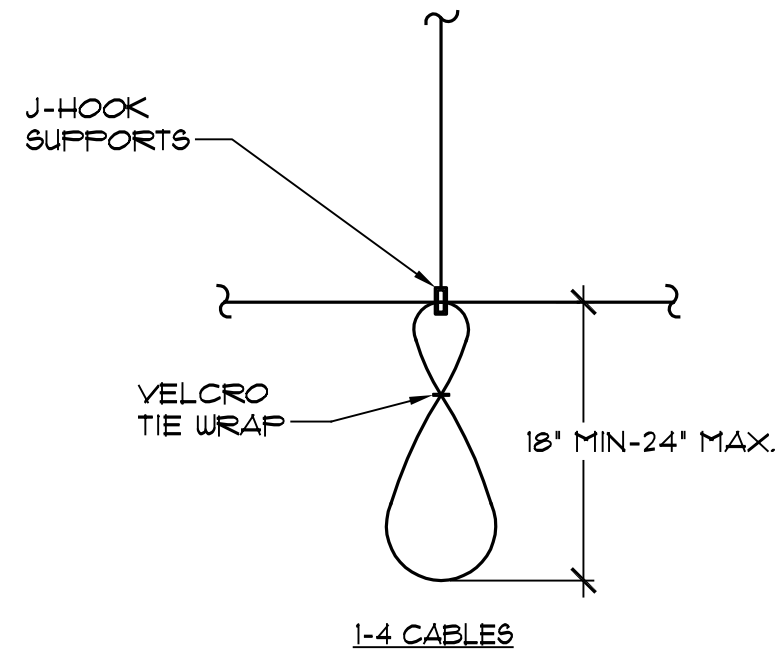
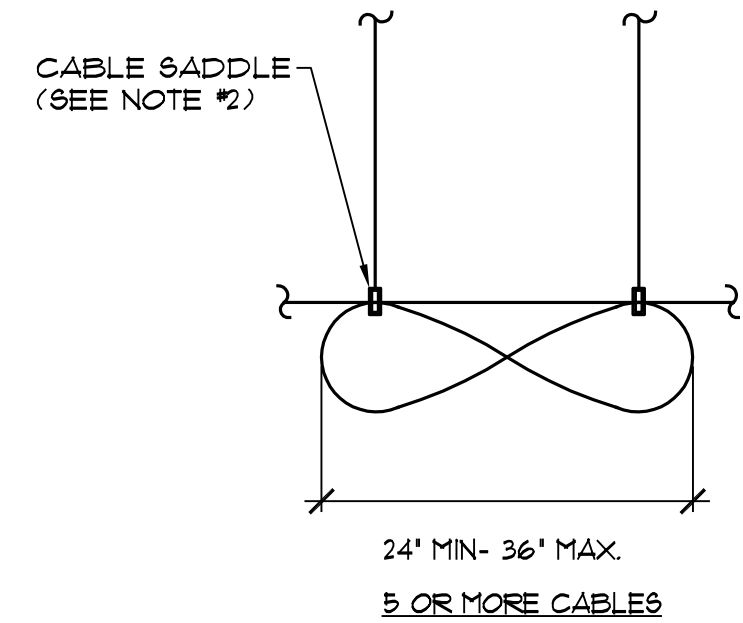
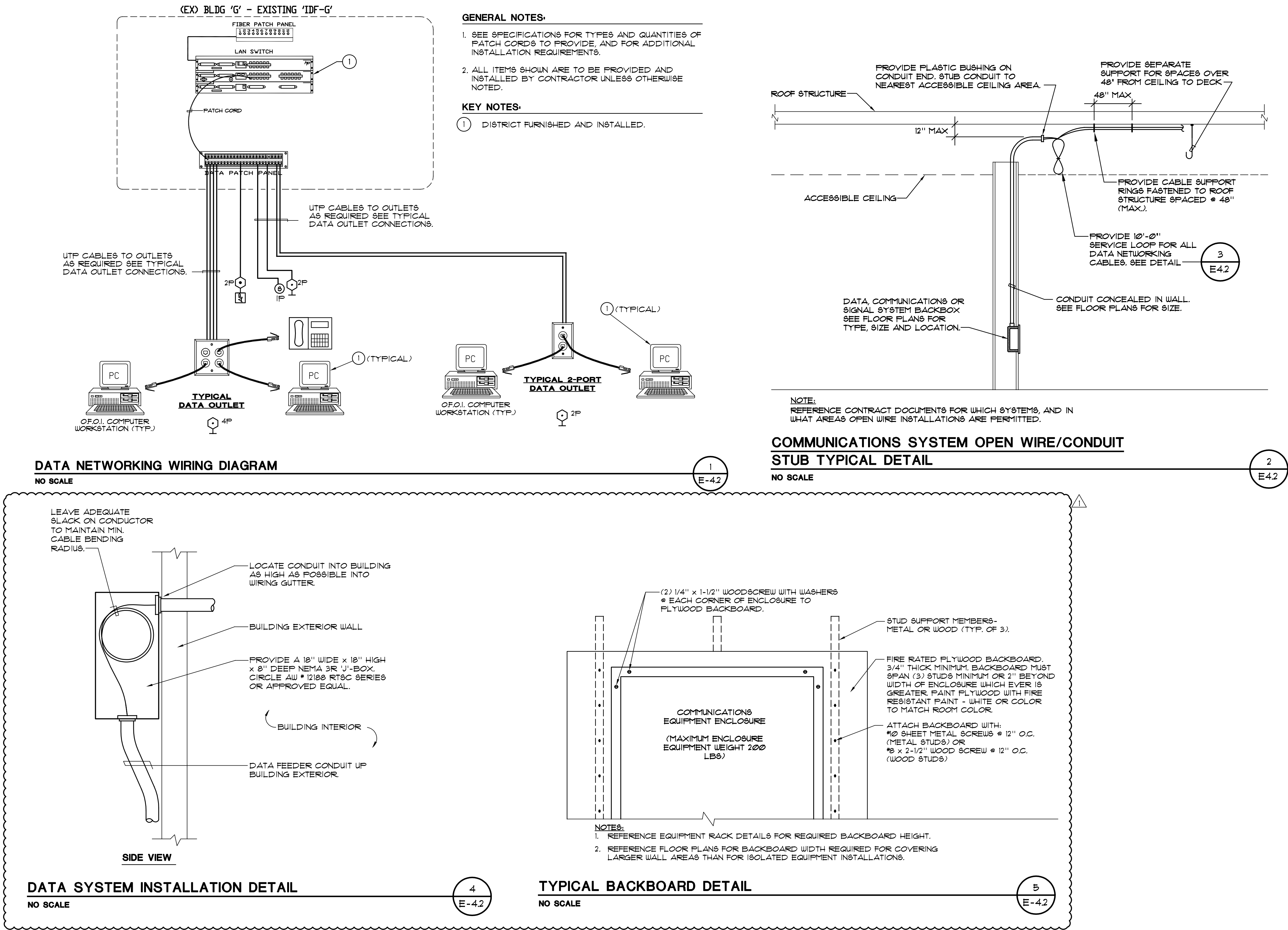
MODEL FILE:
23-033 LUSD Lakeside Farms ES/SS Relo

PLOT DATE:
12/1/2023

SHEET TITLE

FLOOR PLAN -
COMM.

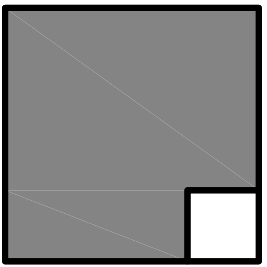
E-4.1



NOTE:
1. ALL SERVICE LOOPS SHALL BE FORMED IN FIGURE 8 CONFIGURATION
2. SADDLE SHALL BE SIZED TO HOLD QUANTITY OF CABLES REQUIRED PER MANUFACTURE REQ.

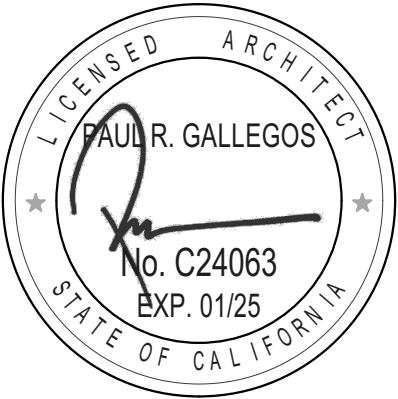
TYPICAL SERVICE LOOP
2
E-4.2
NO SCALE

ALPHASTUDIO DESIGN GROUP



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ARCHITECT OF RECORD



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LAKESIDE, CA 92040
LAKESIDE UNION ELEMENTARY SCHOOL DISTRICT
12335 WOODSIDE AVENUE LAKESIDE CA 92040

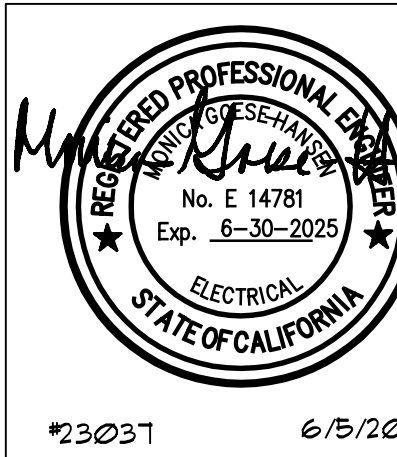
REVISIONS		
MARK	DATE	DESCRIPTION
△	6/4/24	ADDENDUM 01

PROJECT NO: 23-033
MODEL FILE:
23-033 LUSD Lakeside Farms ES/ESS Relo

PLOT DATE:
12/1/2023

SHEET TITLE

COMMUNICATION
DETAILS



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E-4.2